

L.G.A. OF FAIRFIELD

LEGEND

BENCH MARK	
TELSTRA PIT	 TEL
POWER POLE	 PP
SEWER INSPECTION PIT	 SIP
SEWER MANHOLE	 SMH
STORM WATER PIT	
WATER HYDRANT	 HYD
VENT	 VENT
TOP OF BANK	
TOE OF BANK	
WATER METER	 WM
DOWN PIPE	 DP

UTILITIES LEGEND

ELECTRICITY	—X— EU-A-B-C-D
TRANSMISSION	—X— ET-A-B-C-D
TELECOMMUNICATIONS	—X— TN-A-B-C-D
OPTICAL FIBER	—X— OU-A-B-C-D
LOW PRESSURE GAS	—X— LG-A-B-C-D
HIGH PRESSURE GAS	—X— HG-A-B-C-D
WATER MAIN	—X— WM-A-B-C-D
STORMWATER LINE	—X— SW-A-B-C-D
SEWER MAIN	—X— SM-A-B-C-D
UNKNOWN SERVICE	—X— UP-A-D

TK - TOP OF KERB
LIP - LIP LEVEL
USEW - UNDERGROUND SEWER LINE
USW - UNDERGROUND STORMWATER LINE
CL - ROAD CENTRELINE
EC - EDGE OF CONCRETE
RR - ROOF RIDGE
TG - TOP OF GUTTER
FL - FLOOR LEVEL
WT - TOP OF WINDOW
WB - BOTTOM OF WINDOW
Ø/4/S10/H16 - DIAMETER/SPREAD/HEIGHT

NOTE:

THE BOUNDARY INFORMATION SHOWN ON THIS PLAN REGARDING THE LOCATION OF THE PROPERTY BOUNDARIES HAS BEEN TAKEN FROM THE TITLE DEPOSITED PLAN. IT HAS BEEN PLOTTED AS REQUIRED UNDER DIVISION 1, SECTION 9.1(1) OF THE "SURVEYING AND SPATIAL INFORMATION REGULATION 2017" AND IS ACCURATE TO ABOUT $\pm 0.05\text{m}$. IT HAS NOT BEEN DETERMINED BY AN ACCURATE BOUNDARY SURVEY.

A DETAIL & LEVEL SURVEY IS NOT A "LAND SURVEY" AS DEFINED BY THE SURVEYING AND SPATIAL INFORMATION ACT, 2002. IF ANY CONSTRUCTION OR DESIGN WORK, WHICH RELIES ON CRITICAL SETBACKS FROM THE STREET OR BOUNDARIES IS PLANNED, IT WOULD BE IMPERATIVE TO CARRY OUT FURTHER SURVEY WORK TO DETERMINE THE BOUNDARY DIMENSIONS.

PRIOR TO ANY CONSTRUCTION WORK, SURVEY MARKS SHOULD BE PLACED TO DEFINE THE PROPERTY BOUNDARIES.

SERVICES SHOWN ARE INDICATIVE ONLY. POSITIONS ARE BASED ON SURFACE INDICATOR(S) LOCATED DURING FIELD SURVEY. CONFIRMATION OF THE EXACT POSITION SHOULD BE MADE PRIOR TO ANY EXCAVATION WORK. OTHER SERVICES MAY EXIST WHICH ARE NOT SHOWN.

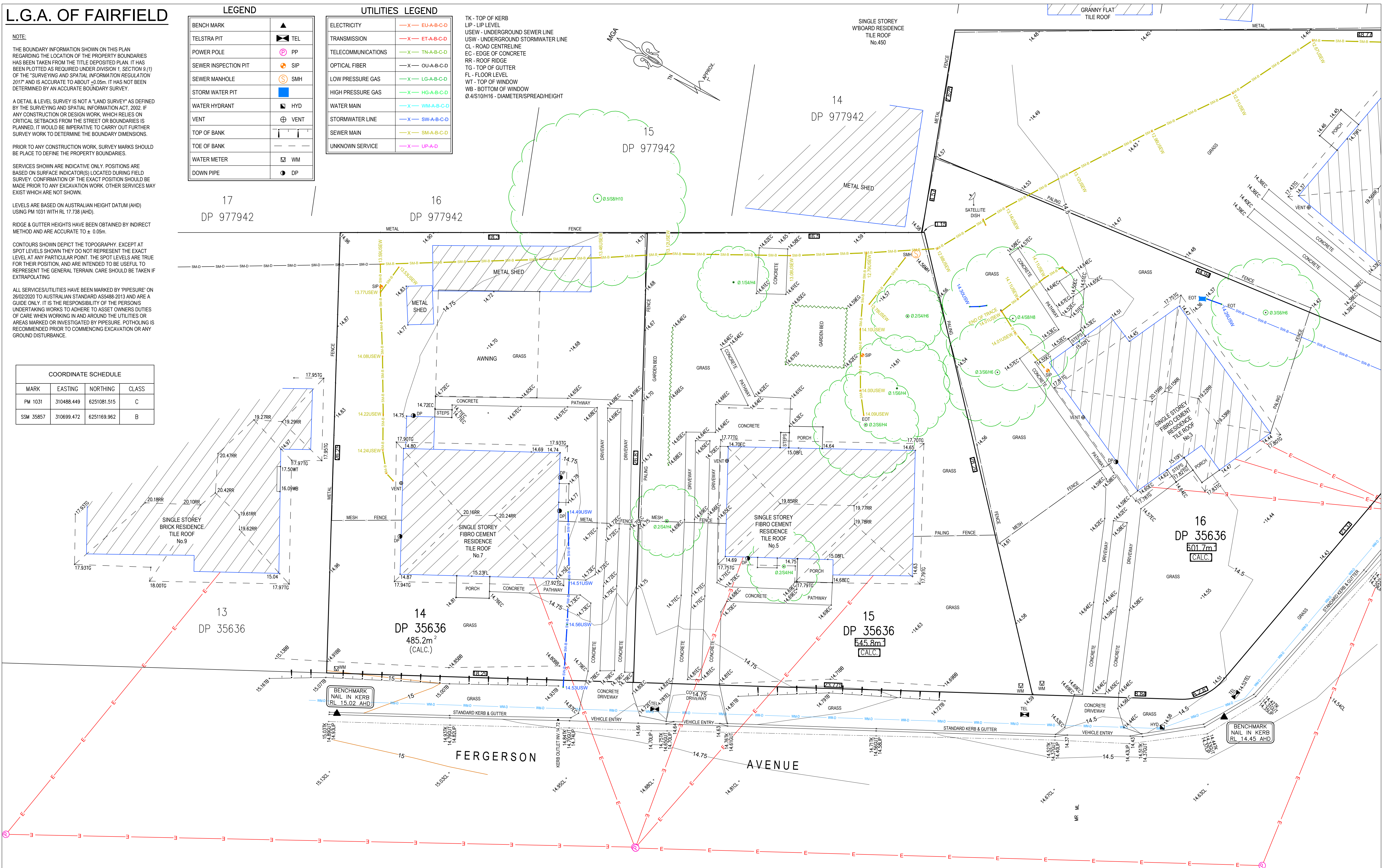
LEVELS ARE BASED ON AUSTRALIAN HEIGHT DATUM (AHD)
USING PM 1031 WITH RL 17.738 (AHD).

RIDGE & GUTTER HEIGHTS HAVE BEEN OBTAINED BY INDIRECT METHOD AND ARE ACCURATE TO $\pm 0.05\text{m}$.

CONTOURS SHOWN DEPICT THE TOPOGRAPHY. EXCEPT AT SPOT LEVELS SHOWN THEY DO NOT REPRESENT THE EXACT LEVEL AT ANY PARTICULAR POINT. THE SPOT LEVELS ARE TRUE FOR THEIR POSITION, AND ARE INTENDED TO BE USEFUL TO REPRESENT THE GENERAL TERRAIN. CARE SHOULD BE TAKEN IF EXTRAPOLATING

ALL SERVICES/UTILITIES HAVE BEEN MARKED BY 'PIPESURE' ON 26/02/2020 TO AUSTRALIAN STANDARD ASS488-2013 AND ARE A GUIDE ONLY. IT IS THE RESPONSIBILITY OF THE PERSONS UNDERTAKING WORKS TO ADHERE TO ASSET OWNERS DUTIES OF CARE WHEN WORKING IN AND AROUND THE UTILITIES OR AREAS MARKED OR INVESTIGATED BY PIPESURE. POTHOLES IS RECOMMENDED PRIOR TO COMMENCING EXCAVATION OR ANY GROUND DISTURBANCE.

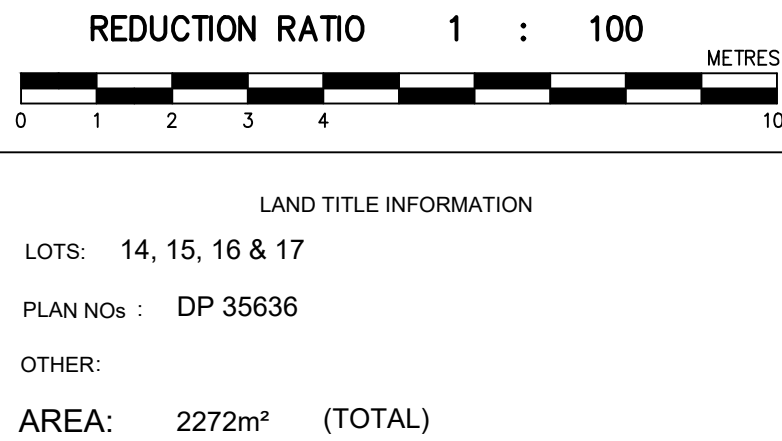
COORDINATE SCHEDULE			
MARK	EASTING	NORTHING	CLASS
PM 1031	310488.449	6251081.515	C
SSM 35857	310699.472	6251169.962	B



No.	DATE	NOTATION/AMENDMENT	No.	DATE	NOTATION/AMENDMENT		
1	02/07/2020	INITIAL ISSUE					
					FILE	FILE SIZE (MB)	CHECKED BY

CONTOUR INTERVAL: 0.25
 DATUM: A.H.D.
 ORIGIN OF DATUM:
 P.M. 1031
 100 YEAR FLOOD RL:
 RECOMMENDED MINIMUM
 FLOOR RL:
 SOURCE OF FLOOD INFO:

LEGEND OF COMMONLY USED SYMBOLS



DATE OF SURVEY: 09 / 06 / 2020
SURVEY CONSULTANT:



SURVEYORS
REF : 200926



Land & Housing
Corporation

Division of the Department of Family & Community Services

DETAIL & CONTOUR SURVEY

LOCATION

FAIRFIELD

STREET ADDRESS

1-7 FERGERSON AVENUE

SITE LAYOUT

TYPE
S

T.

L.G.A. OF FAIRFIELD

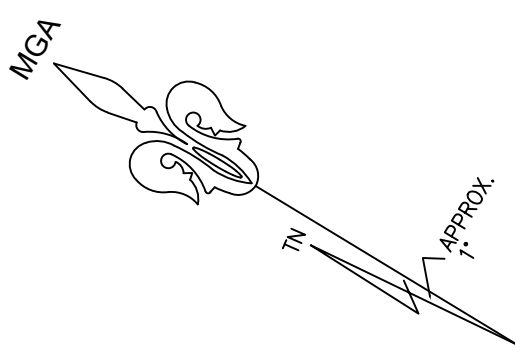
SINGLE STOREY
FIBRO CEMENT
RESIDENCE
METAL ROOF
No.448

DP 977942

DP 536587

DP 536587

DP 12263



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COORDINATE SCHEDULE

MARK	EASTING	NORTHING	CLASS
PM 1031	310488.449	6251081.515	C
SSM 35857	310699.472	6251169.962	B

LEGEND

BENCH MARK	▲
TELSTRA PIT	⬮ TEL
POWER POLE	Ⓟ PP
SEWER INSPECTION PIT	⦿ SIP
SEWER MANHOLE	Ⓢ SMH
STORM WATER PIT	Ⓢ
WATER HYDRANT	⬮ HYD
VENT	⊕ VENT
TOP OF BANK	⬮
TOE OF BANK	---
WATER METER	⊠ WM
DOWN PIPE	● DP

UTILITIES LEGEND

ELECTRICITY	—X— EU-A-B-C-D
TRANSMISSION	—X— ET-A-B-C-D
TELECOMMUNICATIONS	—X— TN-A-B-C-D
OPTICAL FIBER	—X— OU-A-B-C-D
LOW PRESSURE GAS	—X— LG-A-B-C-D
HIGH PRESSURE GAS	—X— HG-A-B-C-D
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STORMWATER LINE	—X— SW-A-B-C-D
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				FILE	FILE SIZE (MB)
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CONTOUR INTERVAL: 0.25

DATUM: A.H.D.
ORIGIN OF DATUM:
P.M. 1031

100 YEAR FLOOD RL:
RECOMMENDED MINIMUM
FLOOR RL:

SOURCE OF FLOOD INFO:

LEGEND OF COMMONLY USED SYMBOLS

REDUCTION RATIO 1 : 100



LAND TITLE INFORMATION

LOTS: 14, 15, 16 & 17

PLAN Nos: DP 35636

OTHER:

AREA: 2272m² (TOTAL)

DATE OF SURVEY: 09 / 06 / 2020

SURVEY CONSULTANT:



SURVEYORS

REF: 200926



Land & Housing
Corporation

Division of the Department of Family & Community Services

DRAWING TITLE

DETAIL & CONTOUR
SURVEY

LOCATION

FAIRFIELD

STREET ADDRESS

1-7 FERGERSON AVENUE

SITE LAYOUT JOB

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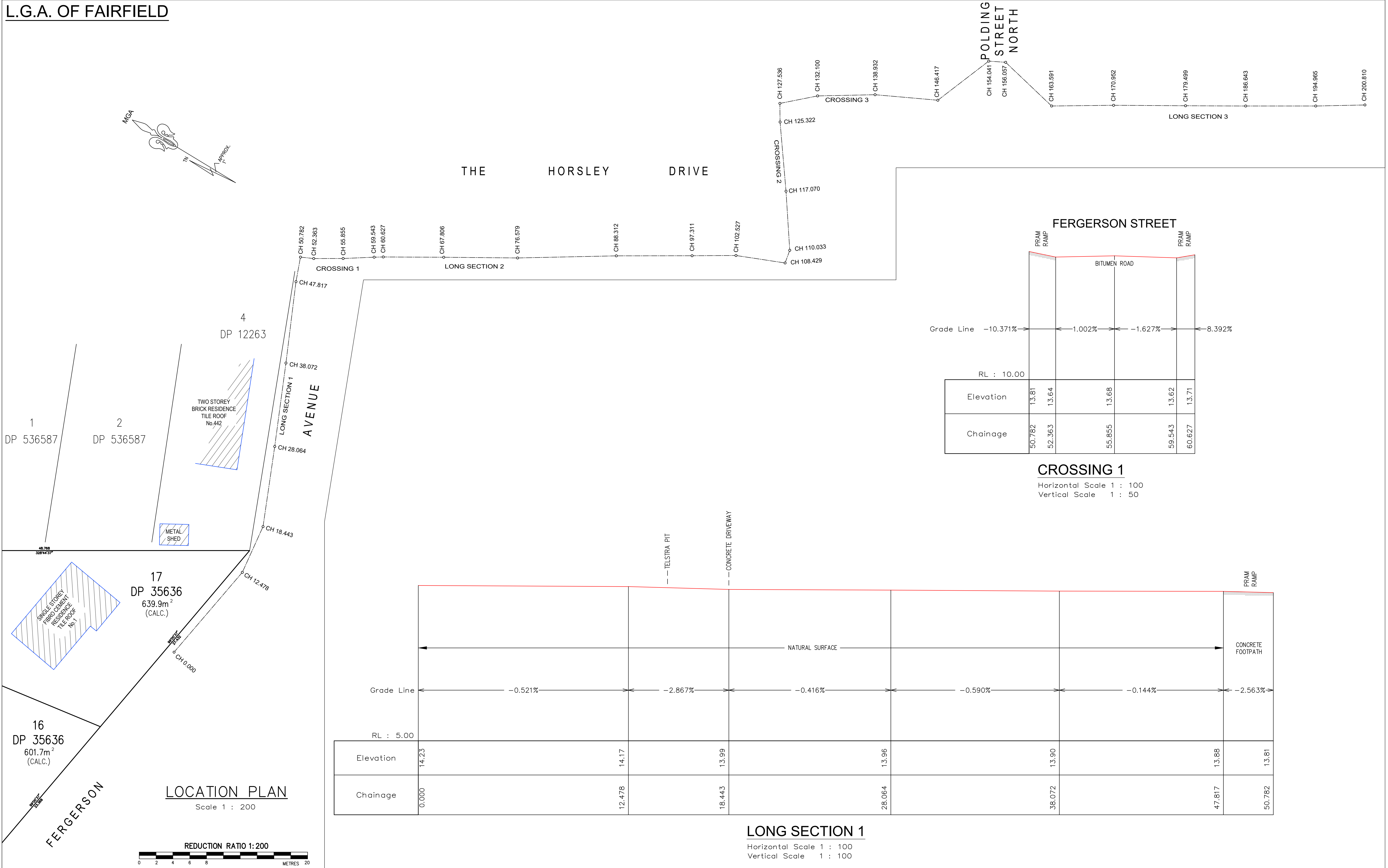
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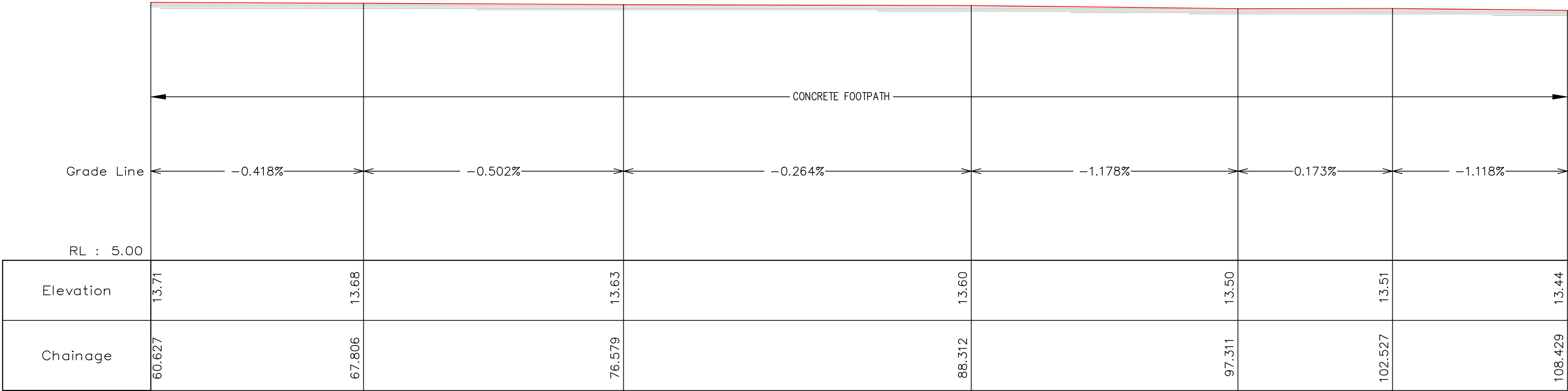
SHT. 2

OF 4

L.G.A. OF FAIRFIELD

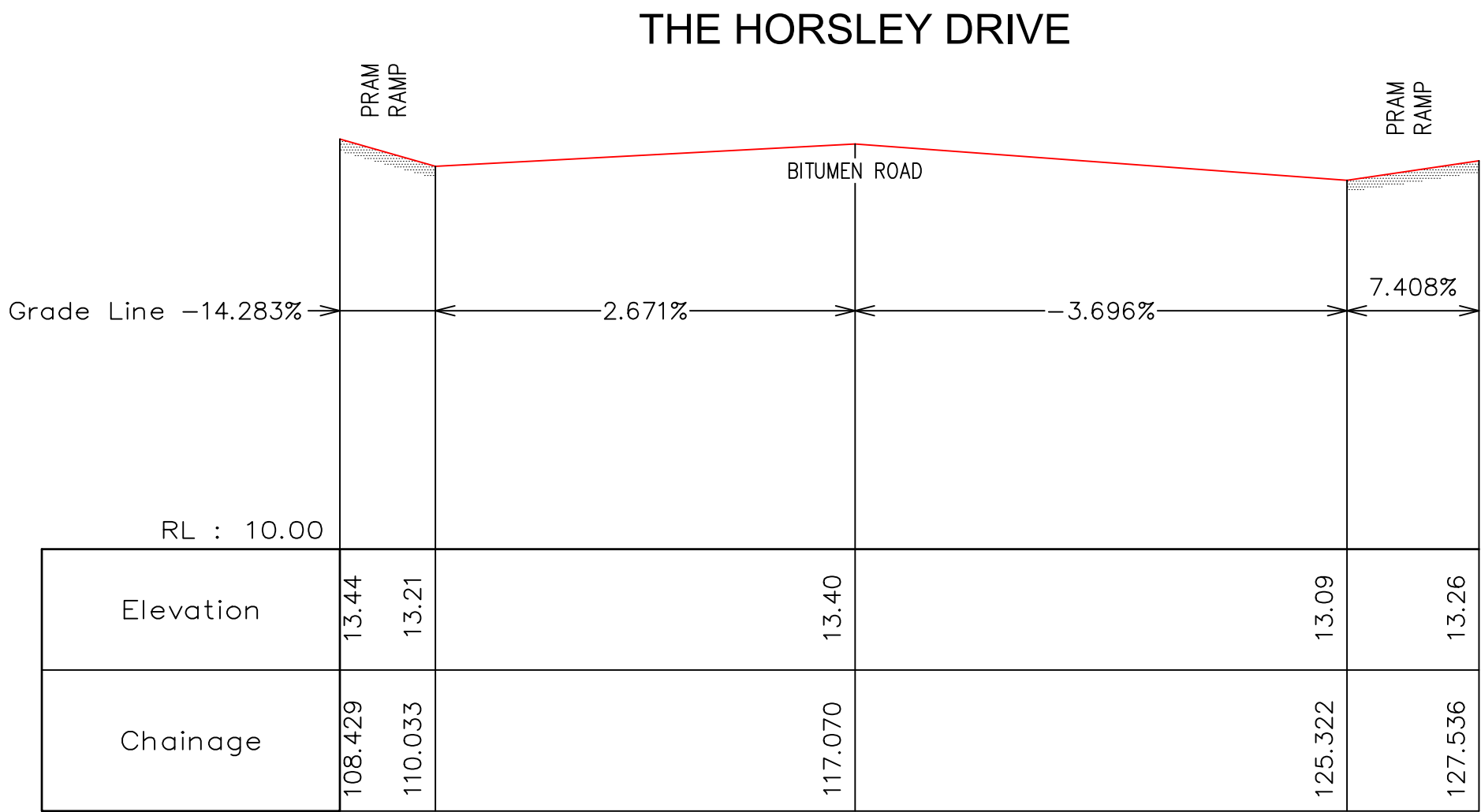


No. DATE NOTATION/AMENDMENT			No. DATE NOTATION/AMENDMENT			CONTOUR INTERVAL: 0.25 DATUM: A.H.D. ORIGIN OF DATUM: P.M. 1031 100 YEAR FLOOD RL: RECOMMENDED MINIMUM FLOOR RL: SOURCE OF FLOOD INFO:	LEGEND OF COMMONLY USED SYMBOLS REDUCTION RATIO 1:100 REDUCTION RATIO 1:50	
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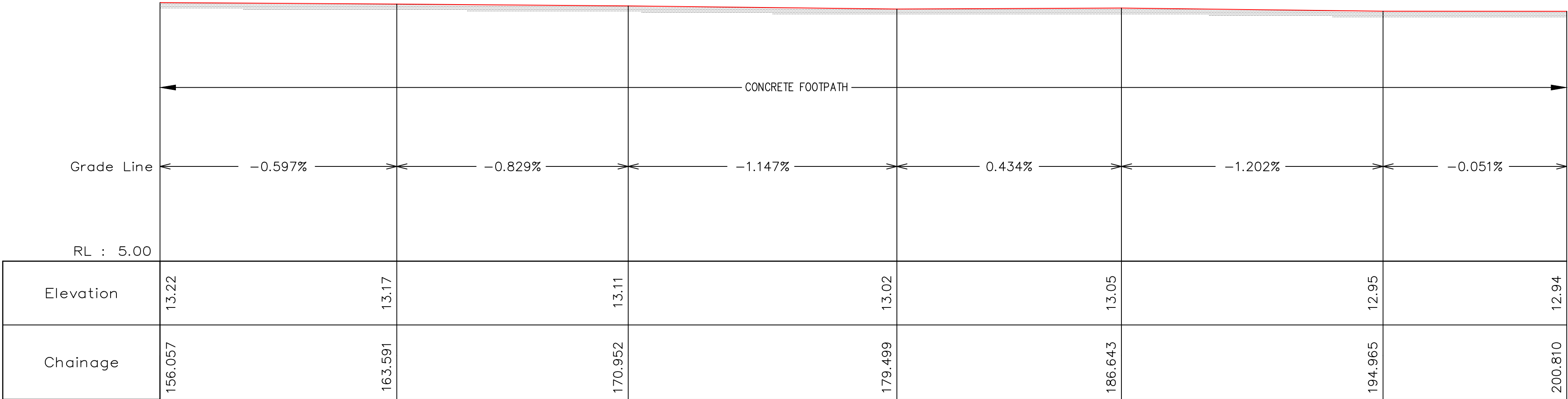
LONG SECTION 2

Horizontal Scale 1 : 100
Vertical Scale 1 : 100



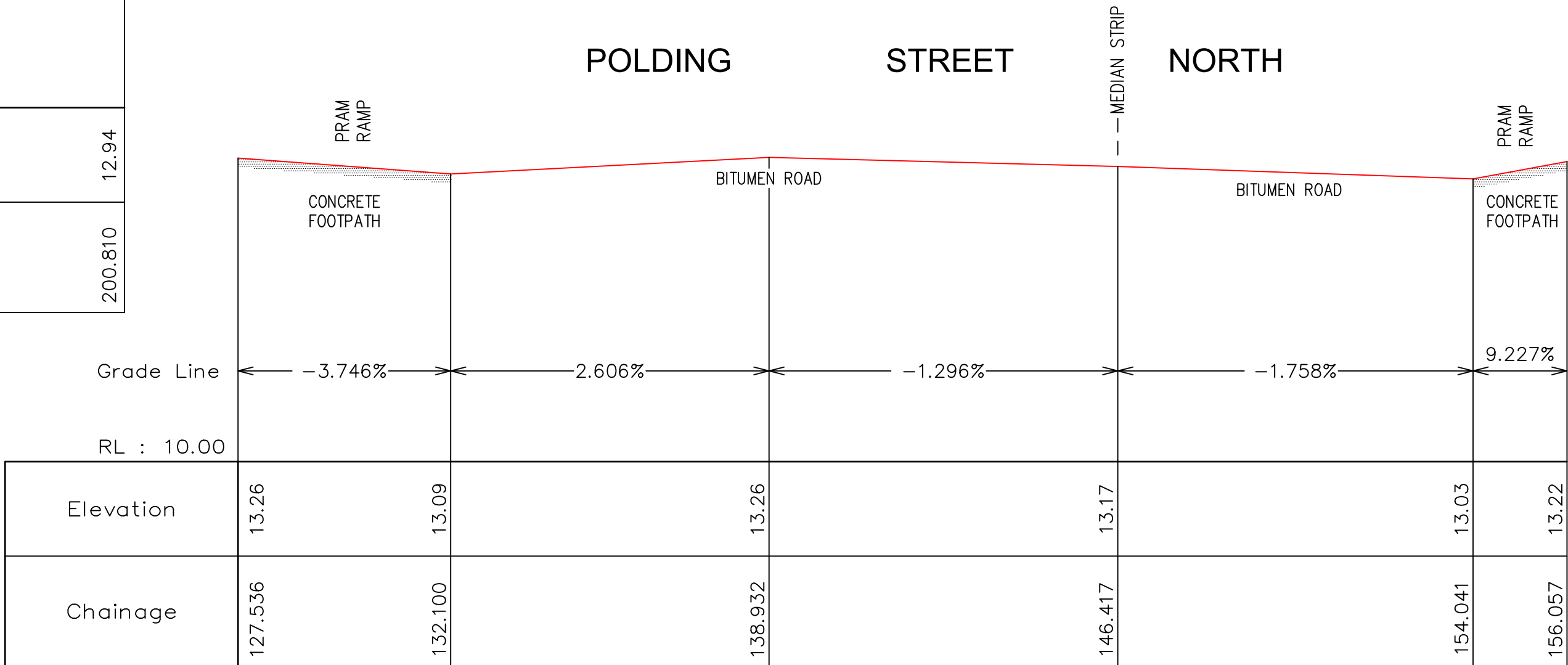
CROSSING 2

Horizontal Scale 1 : 100
Vertical Scale 1 : 50



LONG SECTION 3

Horizontal Scale 1 : 100
Vertical Scale 1 : 100



CROSSING 3

Horizontal Scale 1 : 100
Vertical Scale 1 : 50

No.		DATE	NOTATION/AMENDMENT	No.	DATE	NOTATION/AMENDMENT	CONTOUR INTERVAL: 0.25 DATUM: A.H.D. ORIGIN OF DATUM: S.S.M. 87458 100 YEAR FLOOD RL: RECOMMENDED MINIMUM FLOOR RL: SOURCE OF FLOOD INFO:	LEGEND OF COMMONLY USED SYMBOLS REDUCTION RATIO 1:100 REDUCTION RATIO 1:50	01234 012.5 METRES METRES <th rowspan="5"> 012345 02.5 METRES METRES <th rowspan="5">DATE OF SURVEY: 09 / 06 / 2020 SURVEY CONSULTANT: NSW Land & Housing Corporation Division of the Department of Family & Community Services TSS TOTAL SURVEYING SOLUTIONS ARTARMON CANDEN MANLY VALE SURVEYORS REF : 200926 </th><th colspan="2">LOCATION FAIRFIELD</th><th rowspan="5">TYPE S</th></th>	012345 02.5 METRES METRES <th rowspan="5">DATE OF SURVEY: 09 / 06 / 2020 SURVEY CONSULTANT: NSW Land & Housing Corporation Division of the Department of Family & Community Services TSS TOTAL SURVEYING SOLUTIONS ARTARMON CANDEN MANLY VALE SURVEYORS REF : 200926 </th> <th colspan="2">LOCATION FAIRFIELD</th> <th rowspan="5">TYPE S</th>	DATE OF SURVEY: 09 / 06 / 2020 SURVEY CONSULTANT: NSW Land & Housing Corporation Division of the Department of Family & Community Services TSS TOTAL SURVEYING SOLUTIONS ARTARMON CANDEN MANLY VALE SURVEYORS REF : 200926	LOCATION FAIRFIELD		TYPE S												
1 02/07/2020 INITIAL ISSUE			FILE	FILE SIZE (MB)	CHECKED BY							STREET ADDRESS 1-7 FERGERSON AVENUE														
												SITE LAYOUT JOB	SHT. 4 OF 4													
												DRAWING TITLE DETAIL & CONTOUR SURVEY														